

- NOTES**
- DO NOT SCALE DRAWINGS.
- GENERAL NOTES**
- A. EXTERIOR DIMENSIONS INDICATED ARE TO OUTSIDE FACE OF SHEATHING/CMU AND CENTERLINE OF OPENINGS (U.O.N.)
 - B. INTERIOR DIMENSIONS INDICATED ARE TO FACE OF STUD AND FACE OF MASONRY
 - C. DIMENSIONS LABELED "CLEAR", "MIN." OR "MAX." ARE MEASURED FROM FACE OF FINISH.
 - D. COMMON AREA DOOR JAMBS ARE TO BE LOCATED 6" FROM NEAREST NEIGHBORING WALL AT WOOD/METAL STUD FRAMED WALLS, 8" FROM NEAREST NEIGHBORING WALL AT CMU WALLS, OR CENTERED ON SPACE WHERE INDICATED.
 - E. REFER TO A0 SERIES FOR ASSEMBLY, DOOR, AND WINDOW INFORMATION AS WELL AS TYPICAL FIRE RATING / COMPARTMENTALIZATION DETAILS
 - F. REFER TO A2 SERIES FOR EXTERIOR ELEVATIONS
 - G. REFER TO A3 SERIES FOR VERTICAL CIRCULATION INFORMATION
 - H. REFER TO A4 SERIES FOR REFLECTED CEILING PLANS
 - I. REFER TO A5 SERIES FOR BUILDING AND EXTERIOR WALL SECTIONS
 - J. REFER TO A6 SERIES FOR ENLARGED UNIT PLANS AND OTHER BUILDING INTERIOR INFORMATION

- KEY:**
- EXISTING WALL TO REMAIN
 - ▬ NEW WOOD OR METAL FRAMED WALL (SEE STRUCT. FOR BEARING CONDITIONS)
 - ▬ NEW CMU WALL (SEE STRUCT.)
 - ▬ NEW CONCRETE WALL (SEE STRUCT.)
 - ◇ XX — WALL TYPE. SEE A0 SERIES OF DRAWINGS
 - 11 — DOOR DESIGNATION. SEE DOOR SCHEDULE IN A0 SERIES OF DRAWINGS
 - XX — WINDOW DESIGNATION. SEE WINDOW ELEVATIONS IN A0 SERIES OF DRAWINGS
 - SF-XX — STOREFRONT DESIGNATION. SEE STOREFRONT ELEVATIONS IN A0 SERIES OF DRAWINGS

No.	REVISIONS/SUBMISSIONS	Date

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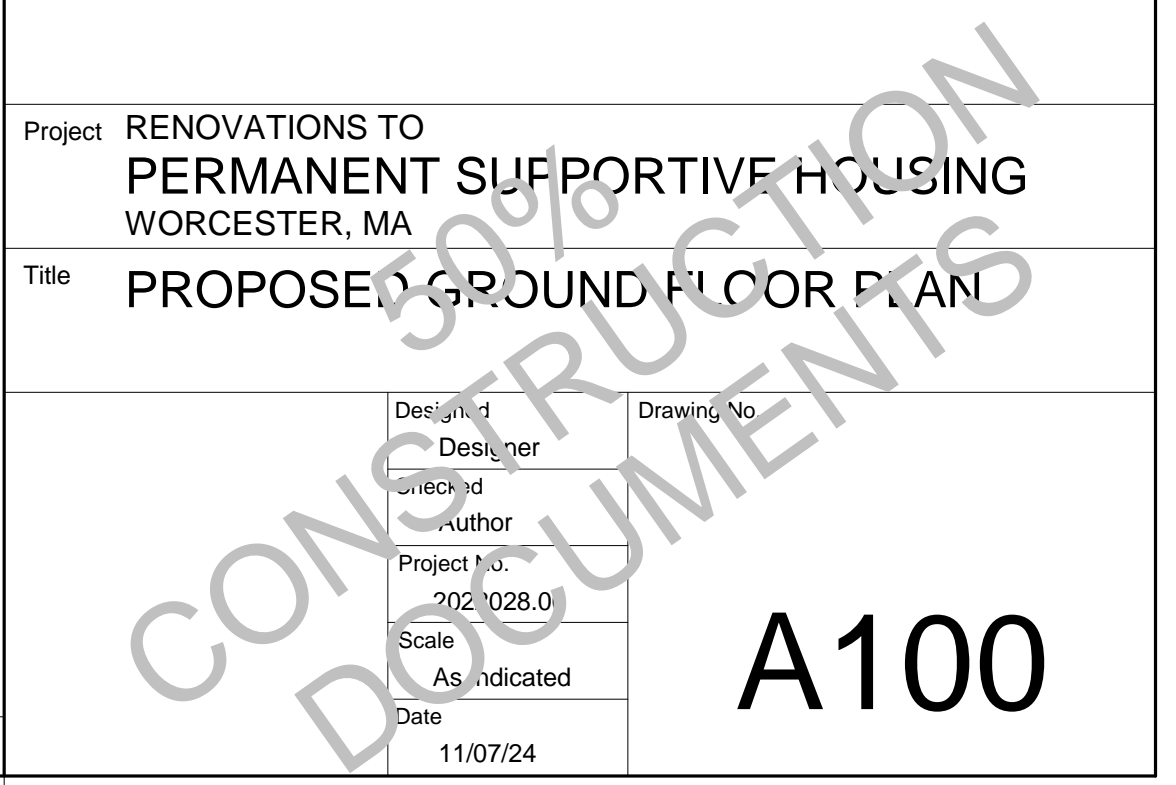
Consultant

Project RENOVATIONS TO PERMANENT SUPPORTIVE HOUSING WORCESTER, MA

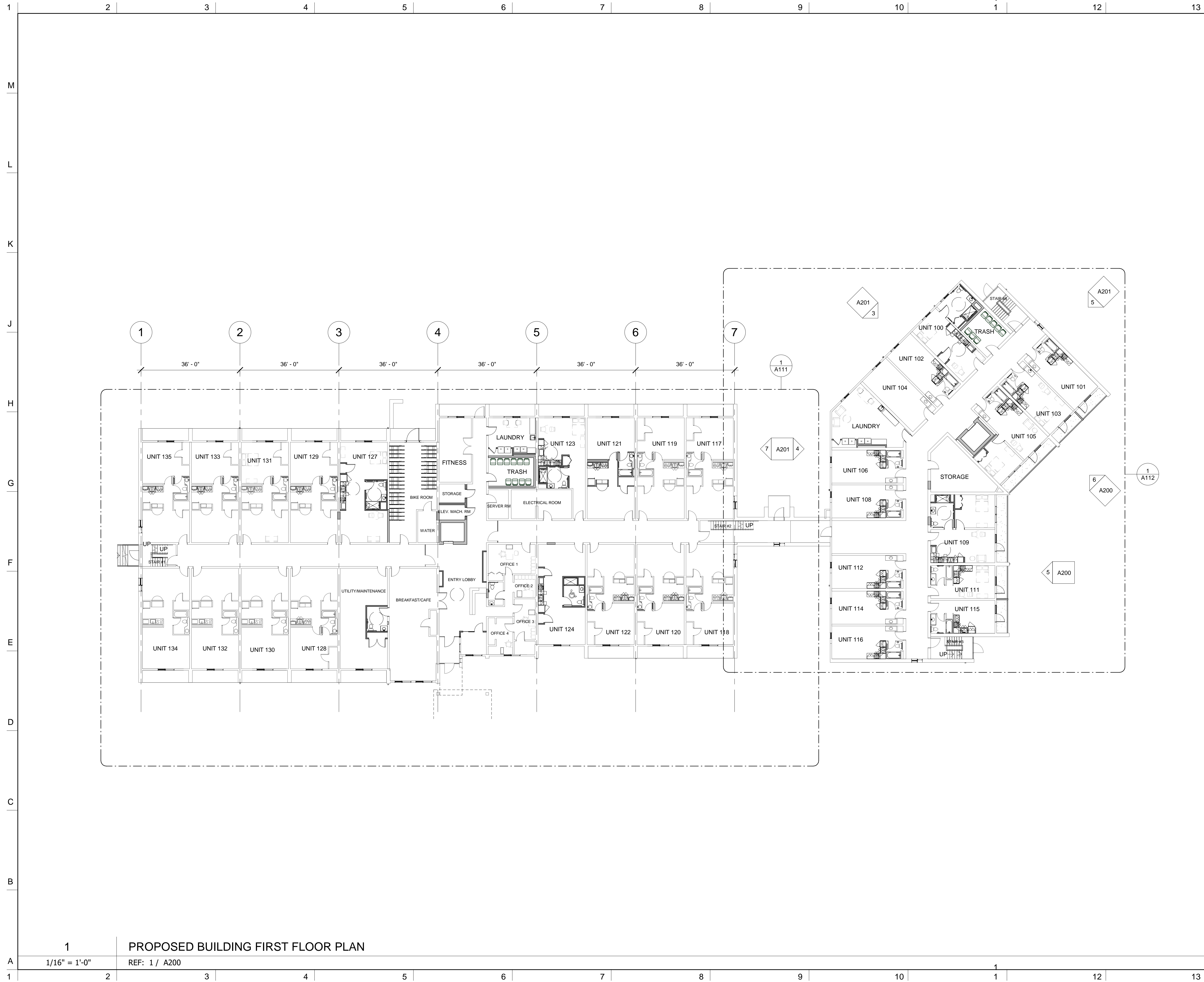
Title PROPOSED GROUND FLOOR PLAN

Design/Checker	Author	Project No.	2021028.0
Scale	As indicated	Date	11/07/24

A100



1 PROPOSED BUILDING GROUND FLOOR
1/16" = 1'-0" REF: 1 / A200



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Project RENOVATIONS TO PERMANENT SUPPORTIVE HOUSING WORCESTER, MA

Title PROPOSED FIRST FLOOR PLAN

Designer	Drawing No.
Author	
Project No.	
Scale	
Date	

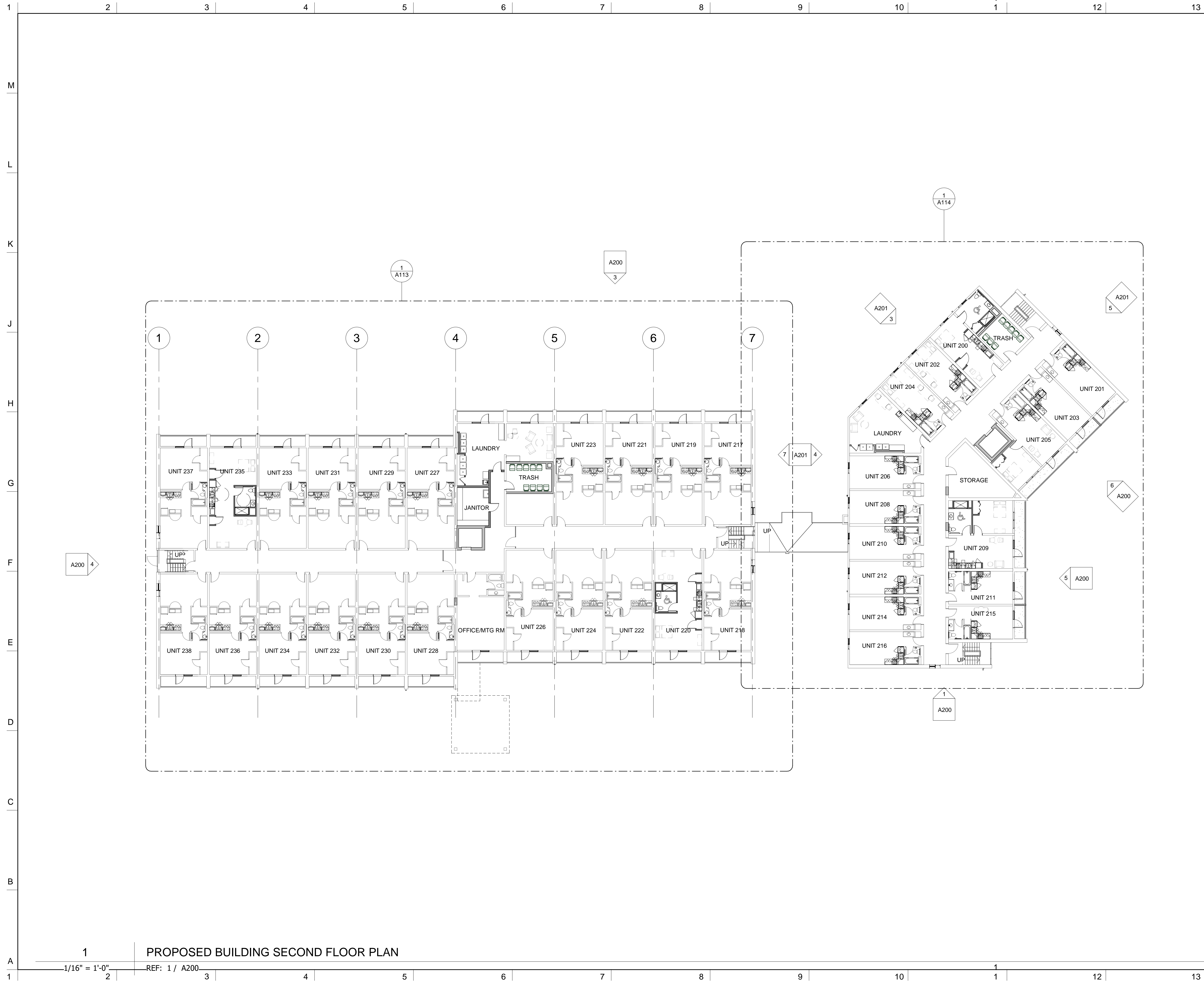
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A101

CONSTRUCTION DOCUMENTS

1 PROPOSED BUILDING FIRST FLOOR PLAN
REF: 1 / A200

1/16" = 1'-0"



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Project RENOVATIONS TO PERMANENT SUPPORTIVE HOUSING WORCESTER, MA

Title PROPOSED SECOND FLOOR PLAN

Designer	Drawing No.
Author	
Project No.	
Scale	
Date	

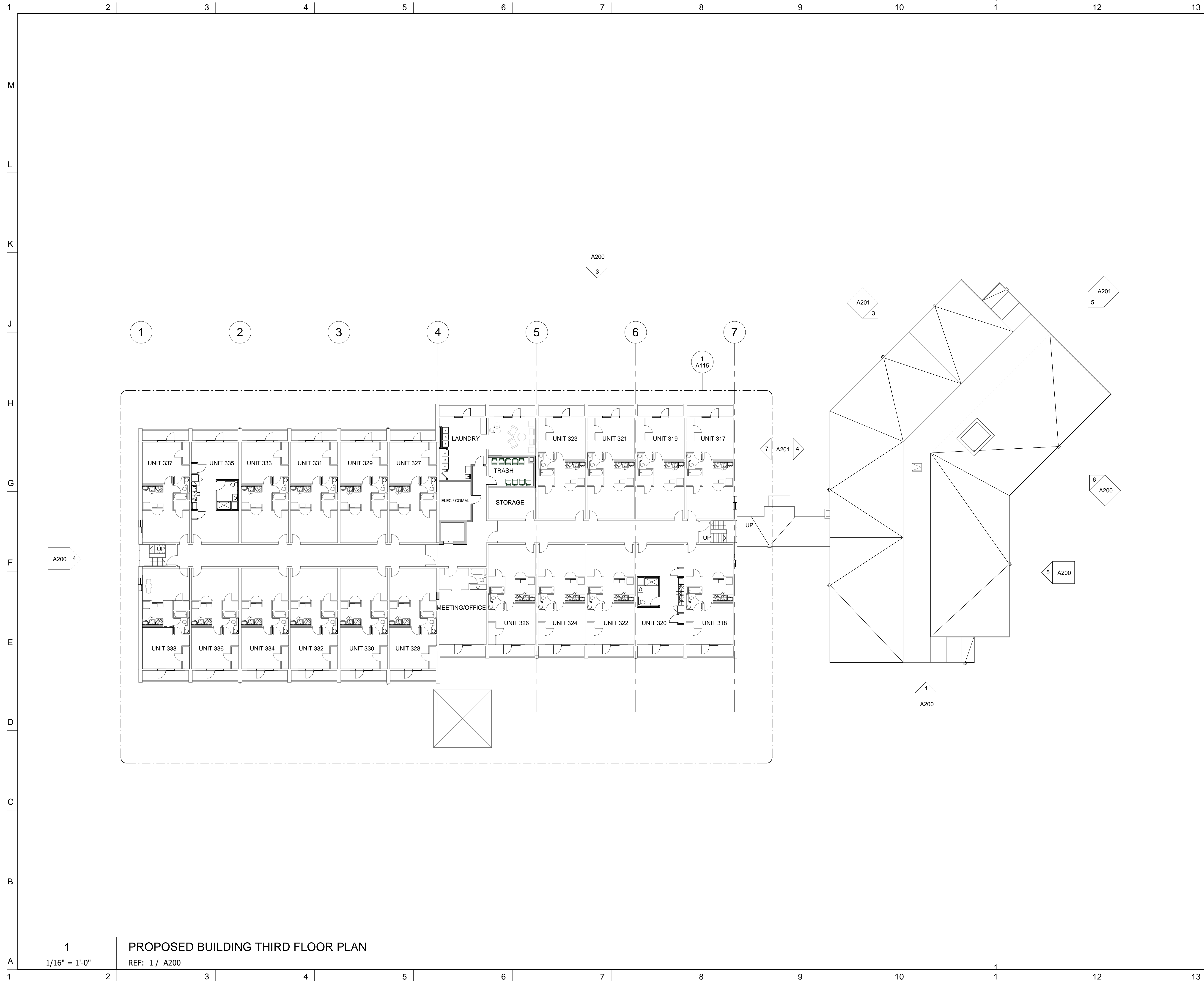
11/07/24

A102

CONSTRUCTION DOCUMENTS

1 PROPOSED BUILDING SECOND FLOOR PLAN

1/16" = 1'-0" REF: 1/ A200



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Project RENOVATIONS TO PERMANENT SUPPORTIVE HOUSING WORCESTER, MA

Title PROPOSED THIRD FLOOR PLAN

Designer	Drawing No.
Author	
Project No.	
Scale	
Date	

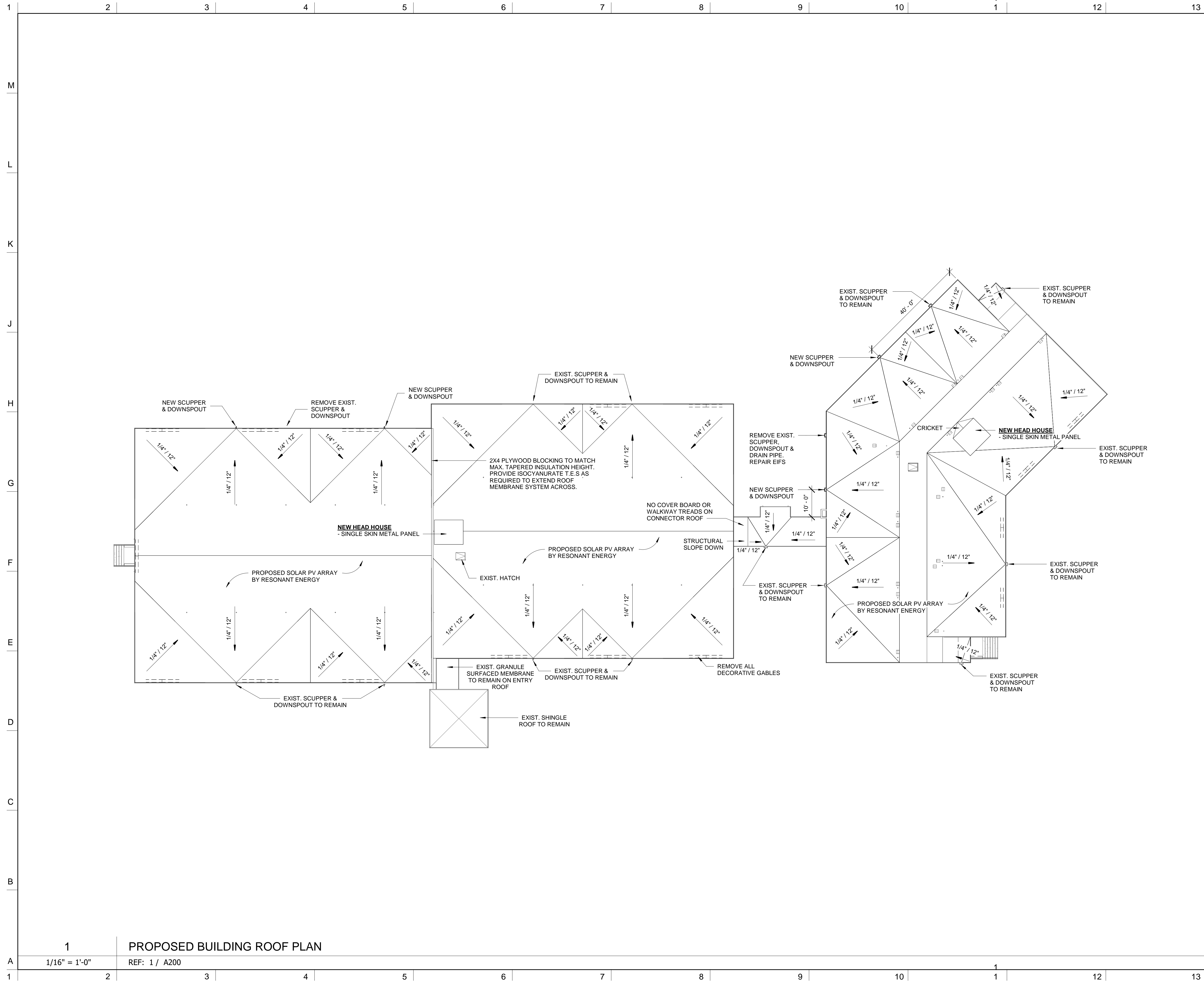
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A103

CONSTRUCTION DOCUMENTS

1 PROPOSED BUILDING THIRD FLOOR PLAN

1/16" = 1'-0" REF: 1 / A200



NOTES

DO NOT SCALE DRAWINGS.

GENERAL NOTES

A. COVER BOARD ON ALL EPDM ROOFING AREAS UNLESS OTHERWISE NOTED.

B. REMOVE ALL EXISTING ROOF MEMBRANE, INSULATION, SHEET METAL, FLASHINGS & WOOD BLOCKING DOWN TO THE EXISTING CONCRETE PLANK ROOF DECK.

C. PROVIDE MECHANICALLY ATTACHED (HP SCREWS ONLY) R-30 MULTI-LAYER INSULATION SYSTEM ON CONTINUOUS VAPOR RETARDER.

D. CRICKETS SHOWN SHALL BE 1/4" TAPERED POLYISOCYANURATE INSULATION FULLY ADHERED TO BASE INSULATION.

E. PROVIDE 5/8" DENSDECK COVER BOARD OVER INSULATION SURFACE (EXCEPT STAIRWELLS) FULLY ADHERED TO ALL SURFACES.

F. PROVIDE FULLY ADHERED ROOF MEMBRANE SYSTEM OVER ALL ROOF AREAS.

G. PROVIDE 0.032" THICK ALUMINUM SCUPPERS & DOWNSPOUTS, FASCIAS AND OTHER FLASHINGS AS DETAILED. TIE DOWNSPOUTS INTO DRAINAGE PIPES WHERE PRESENT.

H. PROVIDE 1200 LF OF WALKWAY TREADS, LOCATIONS TBD.

KEY:

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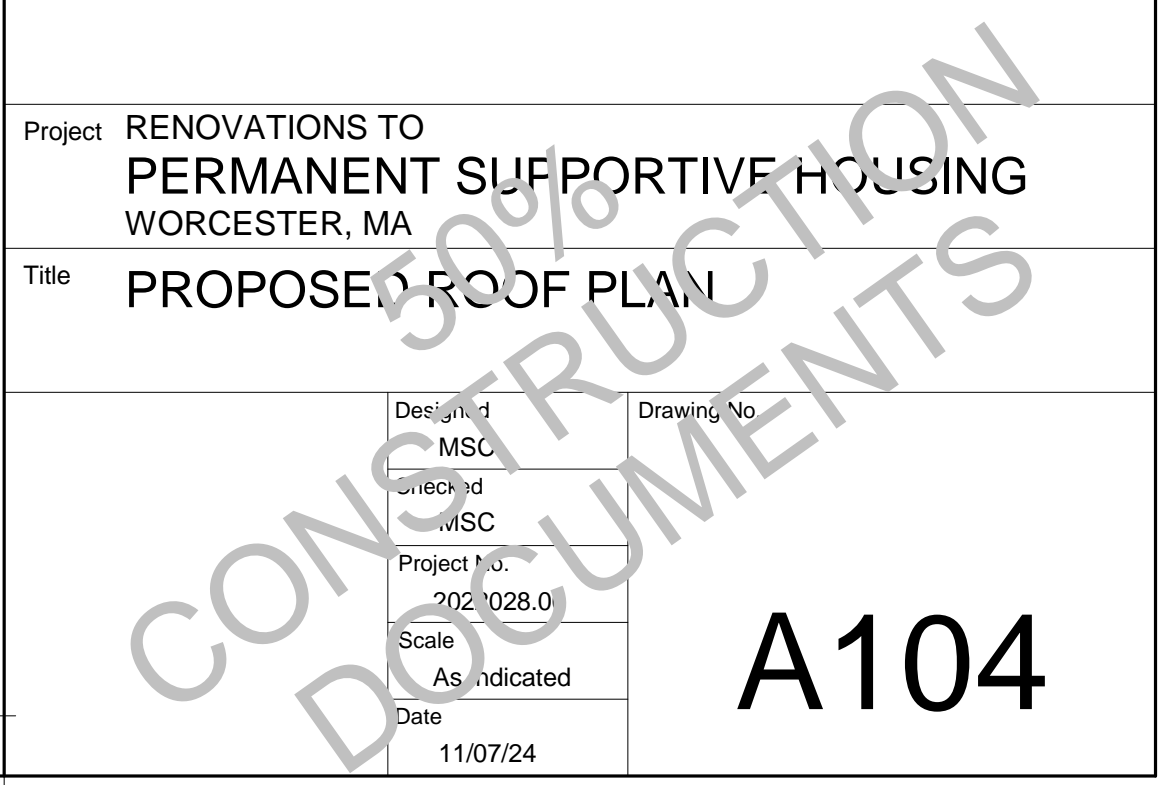
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Project RENOVATIONS TO PERMANENT SUPPORTIVE HOUSING WORCESTER, MA

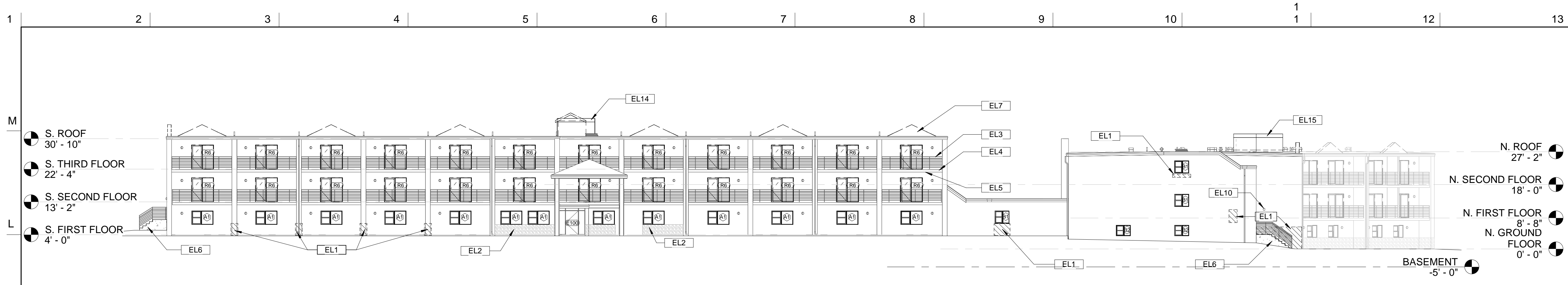
Title PROPOSED ROOF PLAN

Design/Drawn	MSC	Drawing No.	
Checked	MSC	Project No.	2021028.0
Scale	As indicated	Date	11/07/24

A104



1 PROPOSED BUILDING ROOF PLAN
1/16" = 1'-0" REF: 1 / A200



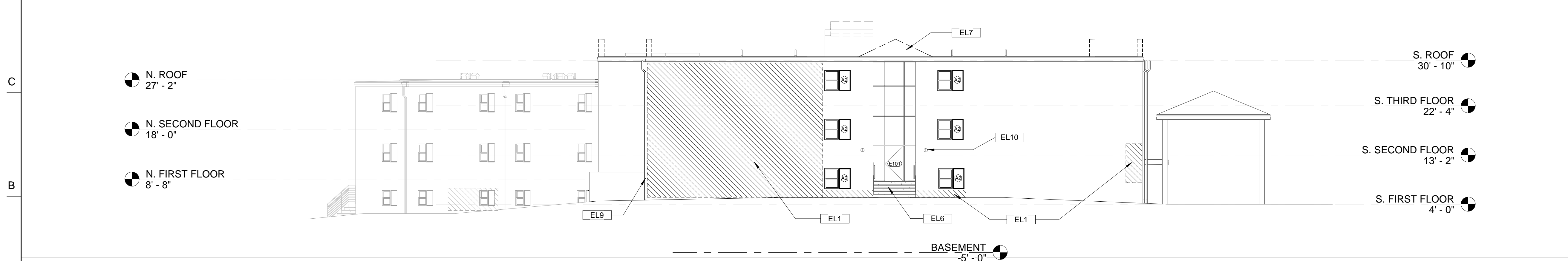
1 EAST ELEVATION
 1/16" = 1'-0" REF: 1 / A100



3 WEST ELEVATION
 1/16" = 1'-0" REF: 1 / A100



5 NORTH ELEVATION 1 **6 NORTH ELEVATION 2**
 3/32" = 1'-0" REF: 1 / A100 3/32" = 1'-0" REF: 1 / A100



4 SOUTH ELEVATION
 3/32" = 1'-0" REF: 1 / A100

NOTES

DO NOT SCALE DRAWINGS.

GENERAL NOTES

- ALL NEW WINDOWS TO REPLACE EXISTING WINDOWS IN EXISTING OPENINGS. REFER TO WINDOW SCHEDULE.
- REPLACE ALL EXTERIOR DOORS IN EXISTING OPENINGS. GC TO SELECT DOOR MANUFACTURER AND SPECS.
- REPAINT ALL EXTERIOR EIFS SURFACES WITH 2-3 COLORS TO BE SELECTED BY ARCHITECT.
- PATCH AND REPAIR EIFS WHERE NOTED. SEE SPECS.
- REMOVE ALL STONE VENEER. PATCH WITH EIFS.
- REPAINT ALL EXTERIOR RAILINGS.
- REMOVE ALL DECORATIVE EXTERIOR PEAKS.
- PRE-FINISHED EXTERIOR MATERIAL FINISHES SHALL BE AS SELECTED BY THE ARCHITECT FOR THE MANUFACTURER'S FULL RANGE OF FINISHES. PROVIDE AN ALLOWANCE TO ADDRESS ANY HAZARDOUS MATERIALS IDENTIFIED IN OWNERS HAZARDOUS MATERIALS REPORT(S). GC IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD BEFORE ORDERING ANY MATERIALS OR FABRICATING ITEMS.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS FOR ALL EXTERIOR MATERIALS AND SYSTEMS.
- REFER TO HVAC DRAWINGS FOR ALL INTAKE/ EXHAUST LOUVERS SIZES.
- REFER TO A0 SERIES FOR ASSEMBLY, DOOR, AND WINDOW INFORMATION.
- REFER TO A1 SERIES FOR FLOOR AND ROOF PLANS
- REFER TO D1 SERIES FOR DEMO PLANS

ELEVATION KEYNOTES	
EL1	PATCH / REPAIR EIFS. PROVIDE ALLOWANCE FOR +/- 10% ABOVE & BEYOND AREAS NOTED.
EL2	REMOVE ALL STONE VENEER. PATCH WITH EIFS.
EL3	REPAINT RAILINGS.
EL4	REPAINT ALL BALCONIES WITH TRAFFIC COATING/WATERPROOFING.
EL5	REMOVE PAINT UNDER BALCONY & REPAINT.
EL6	REPLACE EXTERIOR STAIR AND RAILING.
EL7	REMOVE ALL EXISTING DECORATIVE PEAKS.
EL9	REMOVE AND REPLACE ROOF DRAINAGE AS INDICATED ON ROOF PLAN. REFER TO SHEET A104.
EL10	REPLACE ALL EXTERIOR LIGHTING FIXTURES.
EL11	REPLACE RETAINING WALL AND WALKWAY.
EL12	NEW ACCESSIBLE ENTRY RAMP.
EL13	NEW BALCONY DIVIDERS.
EL14	REBUILD ELEVATOR OVERRUN TO ACCOMMODATE NEW ELEVATOR SPECS.
EL15	NEW ELEVATOR OVERRUN.
EL16	REMOVE EXISTING SLIDING DOOR. PATCH WALL. NEW OPAQUE EXTERIOR WALL AND SINGLE ENTRY DOOR.
EL17	EXTERIOR RESIDENT MAILBOXES. FINAL LOCATION TBD.
EL18	REPAIR/REPLACE DETERIORATING EXTERIOR WALL AS REQUIRED.

No.	REVISIONS/SUBMISSIONS	Date

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Project RENOVATIONS TO PERMANENT SUPPORTIVE HOUSING WORCESTER, MA

Title EXTERIOR ELEVATIONS

Design	Drawing No.
Design	
Checked	
Author	
Project No.	2021028.0
Scale	As Indicated
Date	11/07/24

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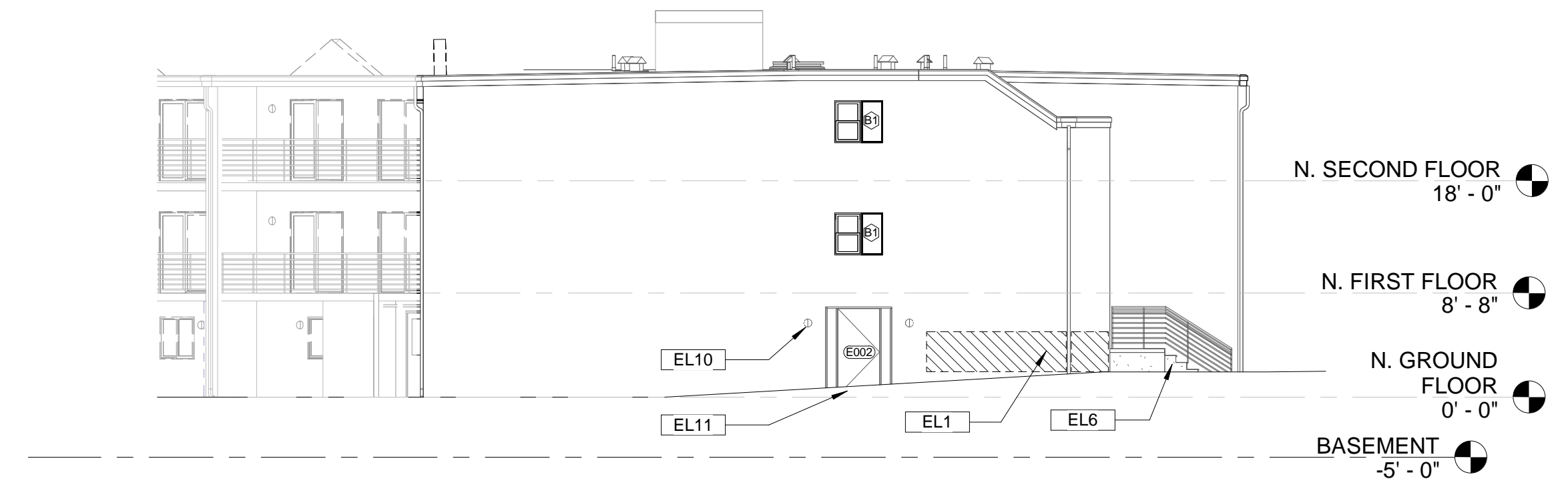
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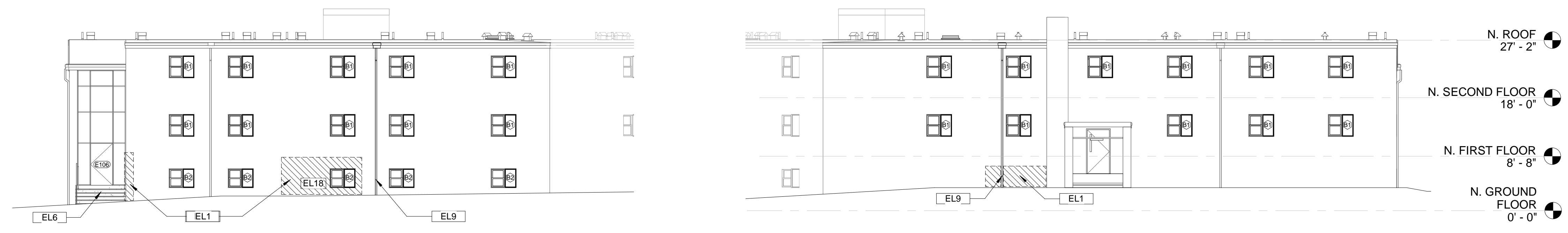


5 N. BLDG WEST ELEV.
3/32" = 1'-0" REF: 1 / A100

H

G

F



3 N. BLDG SOUTH ELEV. 1
3/32" = 1'-0" REF: 1 / A100

4 N. BLDG SOUTH ELEV. 2
3/32" = 1'-0" REF: 1 / A100

E

D

C

B



7 S. BLDG NORTH ELEV.
3/32" = 1'-0" REF: 1 / A100

A

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